

WARD: Lawrence Hill **CONTACT OFFICER:** Charlotte Sangway
SITE ADDRESS: 33 - 49 Victoria Street Bristol BS1 6AD

APPLICATION NO: 14/01424/F Full Planning
EXPIRY DATE: 29 May 2014

External alterations.

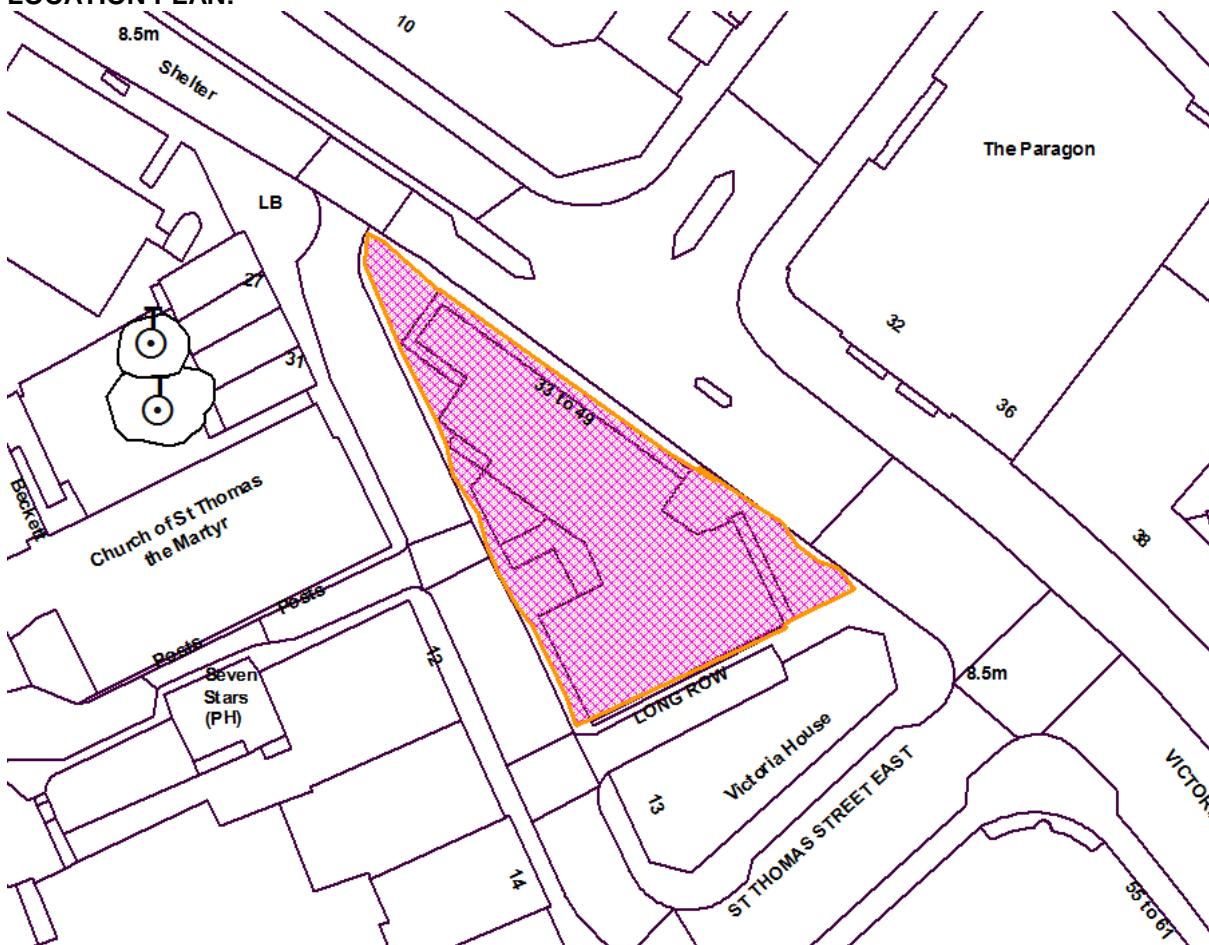
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Savills (L&P) Plc
Embassy House
Queens Avenue
Bristol
BS8 1SB

APPLICANT: Edenlaw Limited C/o London & County LLP
28 Manchester Street
London
W1U 7LE

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



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SUMMARY

The application relates to a commercial office building in Redcliffe, that has recently been given Prior Approval consent for a residential use and is now seeking to make external changes to the building including recladding and significant alterations to the windows and entrance, plus the addition of balconies.

A previous consent was given on appeal in 2009 for demolition of the building and redevelopment for a much larger office building. This consent lapsed on 5 June 2014.

The site is within the Redcliffe Conservation Area and adjacent to a number of listed buildings, including The Fleece, a late night music venue.

18 objections to the proposals have been received including from Bristol Civic Society, Kerry McCarthy MP and Councillor Radice and the key objections are to the potential impacts on the operations of The Fleece and the architectural merit of the proposals. An online petition has been set up by the owners of The Fleece objecting to the proposals, which has reached over 40 000 signatories at the time of writing.

The key issues are the design of the proposed alterations and the noise implications in relation to The Fleece late night music venue. Officers consider the alterations to be acceptable in design terms and that noise concerns and all other matters can be dealt with via detailed planning conditions.

The officer recommendation to Members is for approval of the application subject to the conditions set out in full at the end of this report.

SITE DESCRIPTION

The application relates to an existing commercial property in Redcliffe. The site is designated within the Bristol Local Plan as a site for industrial and warehousing uses and a secondary shopping frontage along Victoria Street. The site is proposed as a Site Allocation within the draft Bristol Central Area Plan (BCAP) for the suggested uses of offices and leisure. The building has recently received Prior Approval for use as a residential use under the Government's change to permitted development rights in May 2013.

The building dates to the 1970s and is six storeys with an additional lower ground floor car park, accessed from St Thomas Street. The property has three frontages onto Victoria Street, St Thomas Street and Long Row and the main pedestrian entrance is on Victoria Street. The building is of brick construction.

The site is within the Redcliffe Conservation Area and neighbours several listed buildings including The Fleece & Firkin (the former Wool Hall) (Grade II listed), The Seven Stars Public House (Grade II) The Church of St Thomas The Martyr (Grade II*), 25-31 Victoria Street (Grade II*) and 4-16 Victoria Street (Grade II listed).

RELEVANT HISTORY

13/04116/COU- Prior approval for the change of use from office floor space within class B1 (a) to residential accommodation falling within Class C3 (dwellings). PRIOR APPROVAL GIVEN 01.11.2013

08/20194/REF-Appeal against refusal of application for the demolition of existing building and construction of a 10-storey building comprising 9410 sqm of B1 Office space, 2 no. units at ground

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floor for Use Classes A1, A3 or A4 and 1 no. unit at ground floor for Use Classes A1, A2 or A5 with basement car parking (Revised Application). ALLOWED 05.06.2009

09/20022/NONDET- Appeal against non-determination of the demolition of the existing office building. ALLOWED 05.06.2009 (five year consent).

08/04484/F- Demolition of existing building and construction of a 10-storey building comprising 9410 sqm of B1 Office space, 2 no. units at ground floor for Use Classes A1, A3 or A4 and 1 no. unit at ground floor for Use Classes A1, A2 or A5 with basement car parking. (Revised Application) REFUSED 17.12.2008 for the following reason:

- 1. The proposed building would by virtue of its height, scale, massing and materials be an unacceptable development which would harm the street scene and be detrimental to the character and appearance of the Redcliffe Conservation Area and fail to relate satisfactorily with nearby Listed Buildings contrary to policies B1, B2, B5, B6, B8 and B13 of the Adopted Bristol Local Plan (December 1997), guidance contained in the Council's Supplementary Planning Documents 1 'Tall Buildings' (January 2005) and 3 'Future of Redcliffe' (July 2006), guidance contained in the Council's Planning Advice Note 15 'Responding to Local Character' (1998), guidance contained in the Council's Redcliffe Conservation Area Character Appraisal (June 2008) and the provisions of PPS1 'Delivering Sustainable Development' (February 2005) and PPG 15 'Planning and the Historic Environment' (September 1994).*

08/04756/LC- Demolition of existing office building. Appeal against non-determination lodged (determined 05.06.2009).

APPLICATION

The current application is for external works to the building to facilitate the use of the building for residential purposes, the use as which has already been granted via the Prior Approval procedure.

The Prior Approval procedure was introduced by the government in May 2013 to permit the change of use from Use Class B1(a) offices to Use Class C3 (dwellinghouses). The term dwellinghouse also refers to flats/ maisonettes/ apartments within the C3 definition (i.e. excluding Use Class C4 Houses in Multiple Occupation and student accommodation (sui generis)).

The Prior Approval process permits the Local Planning Authority to consider only three matters in the determination of such applications: contamination risks, flood risk and transport and highways impacts. Under Prior Approval application 13/04116/COU (see details above), the proposed residential use was considered to be acceptable on all three grounds.

The proposed external works under this application include the following elements:

- Re-cladding of the entire building in a combination of stone-effect cladding, render and metal panels;
- Changes to the windows and fenestration pattern;
- A new main entrance to St Thomas Street (with entrance steps);
- Balconies to all elevations excluding Long Row (and notably to the 'prow' elevation at the junction of St Thomas Street and Victoria Street);

Following negotiation by officers, the following amendments have been made to the application proposals:

- Alterations to the window pattern and detailing;
- Amendment of the external finish of the elevations from render to a stone-effect cladding.

In addition, an updated noise report was also submitted at this stage.

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PRE APPLICATION COMMUNITY INVOLVEMENT

The application is a 'minor' scale application and therefore the submission of a Community Involvement Statement (CIS) is not an application requirement.

RESPONSE TO PUBLICITY AND CONSULTATION

A site notice and press notice were posted/ published on 30 April 2014 and neighbours were consulted by individual letter dated 16 April 2014.

18 written objections to the proposals have been received, which are summarised below. The objections include detailed comments from CSJ Planning consultants on behalf of Aerofleece Ltd., the owners/ management of The Fleece music venue.

Objections received:

Use

- There should be active ground floor use on Victoria Street as per the previously consented scheme (on appeal);

Design

- The design has little architectural merit, is not of sufficient standard and will do little to enhance its setting, including numerous listed buildings;
- There are concerns regarding the weathering of the materials over time due to the proposed white colour;
- One or two storeys could be added in light of recent/ surrounding developments;

Noise

- Harmful impact on local business, namely The Fleece (a licensed venue with consent for late night opening) through noise complaints from residential occupiers within the development;
- The submitted Noise Report is criticised by The Fleece's acoustic consultants (Ion Acoustics) for the following reasons:
 - o It does not use adequate criteria in respect of the limits used as it does not account for bass beats and low frequencies;
 - o The measurement position does not represent the worst affected dwellings;
 - o The noise data supplied does not relate to the period with The Fleece operating;
 - o The calculations do not include noise at 63Hz;
 - o The scheme includes balconies on the rear façade- noise level on the balconies will be unacceptably high.
 - o Habitable rooms including bedrooms would face The Fleece. Windows should be fixed shut on the St Thomas Street elevation. A new scheme of mitigation should be drawn up.

Other issues

- The site is unsuitable for residential development due to air pollution;
- Car parking provision is low at 17 spaces and there is insufficient on-street space for additional parking. St Thomas Street is not suitable for significant increased traffic volumes.

Bristol Civic Society has no objection to the principle of residential use; however they urge the Council to secure a high standard of sound insulation to protect future residents from external noise from traffic and licensed premises.

Kerry McCarthy MP raised concerns regarding the proposed residential use in close proximity to the licensed business premises of The Fleece and the change to permitted development rights that have

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allowed this. She urged rejection of the application if the key flaws in it are not resolved, particular those set out within CSJ's letter on behalf of Aerofleece Ltd (The Fleece) (as outlined above under the 'Noise' heading). She will be taking forward her concerns about the effect of these changes with the Government in addition.

Councillor Daniella Radice objected to the application on the basis of the noise implications for future residents and the fact that mitigation in the form of mechanical ventilation is highly unsustainable due to high energy-usage. The night time economy of Bristol is vital to the wider economy of Bristol and it is important that venues such as The Fleece are in sustainable locations in the city centre and close to transport links.

An online petition against the application was set up by the owner of The Fleece and at the time of writing had reached over 40 000 signatures.

Following amendments to the scheme, re-consultation took place via the issuing of further individual letters to neighbours and those that had commented on the original application dated 30 June 2014 with an expiry date for comments of 14 July 2014.

Three further written comments (objections) to the proposals have been received and are summarised as follows:

Kerry McCarthy MP maintains an objection to the proposals. The developer initially had agreed to provide significant sound insulation to the new flats with The Fleece agreeing to simultaneously upgrade their sound insulation; however the developer has pulled out from this agreement having taken legal advice that under permitted development rights, Prior Approval for residential use has already been granted. Kerry McCarthy asks the Council to consider the legal case put forward by CSJ on behalf of The Fleece in order to intervene and require sound proofing measures to the apartments. Noise complaints can cause real problems for well-loved music venues, as in examples given in Manchester and Brighton.

CSJ Planning (on behalf of Aerofleece Ltd.) objects to the proposals and the case put forward by the applicant that noise issues are not a material consideration in the determination of the application and that noise mitigation should not be required. CSJ set out their case and legal justification that acoustic impact is a material consideration in the determination of this application and that a scheme of noise mitigation should be provided at this stage or required by condition.

The Churches Conservation Trust note that they were not formally consulted regarding this proposal and they are concerned regarding the impact on the setting of St Thomas The Martyr Church and consider there to be an opportunity to significantly improve the setting of the church.

OTHER COMMENTS

The City Design Group has been involved in discussions regarding the design of the proposals, which has led to the amended scheme. Consideration of this issue is covered in full under Key Issue A).

English Heritage has commented that it is clear that the proposal would represent an improvement on the current appearance of the building. However, they do have concerns that the design of the scheme (the original scheme prior to amendments) is not of sufficient quality and would query whether the balconies as proposed are in keeping with the overall commercial and industrial character of the conservation area. They urge that these issues be addressed and recommend that the application be determined in accordance with national and local policy guidance, and on the basis of Bristol City Council specialist conservation advice. See background papers for details.

Update: English Heritage had no comment regarding the proposed revised scheme.

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The Transport Development Management Team has raised no objections to the proposals following the amendments to the scheme.

The Pollution Control (Environmental Health) Team has advised that they are satisfied that noise issues can be dealt with via condition (see Key Issue B for full consideration).

The Air Quality Management Team has raised concerns regarding the air quality levels at the lower floors of the development (second floor and below) on the Victoria Street elevation.

The Arboriculture Team advised that they did not object to the removal of the existing tree on site, which lies adjacent to the footpath on the St Thomas Street edge of the corner junction with Victoria Street, within the application site boundary. While it is regrettable for it to be removed, this tree has only a very limited life span due to growing in a confined space. However, if the sub-station that would be situated in this location cannot be re-sited then replacement tree planting would be sought – one tree would be required. The proposed planting position on the Victoria Street frontage is acceptable. See background papers for details.

RELEVANT POLICIES**National Planning Policy Framework – March 2012****Bristol Local Plan, Adopted December 1997**

B2	Local Context
B6	Building Exteriors and Elevations
ME4	Controlling the Impact of Noise
NE3	Trees and Woodlands (including tree planting and the Community Forest)

Bristol Core Strategy (Adopted June 2011)

BCS2	Bristol City Centre
BCS21	Quality Urban Design
BCS22	Conservation and the Historic Environment
BCS23	Pollution
BCS9	Green Infrastructure

Bristol Site Allocations and Development Management Policies (emerging)

DM1	Presumption in favour of sustainable development
DM14	The health impacts of development
DM17	Development involving existing green infrastructure
DM26	Local character and distinctiveness
DM28	Public realm
DM30	Alterations to existing buildings
DM31	Heritage assets
DM33	Pollution control, air quality and water quality
DM35	Noise mitigation

Bristol Central Area Plan (emerging)

BCAP47	The approach to Redcliffe
BCAP SA 6	Site allocations in Redcliffe

Supplementary Planning Documents

SPD3	Future of Redcliffe (July 2006)
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Supplementary Planning Guidance

Redcliffe Conservation Area Character Appraisal

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KEY ISSUES

- (A) WOULD THE PROPOSED DEVELOPMENT BE ACCEPTABLE IN DESIGN TERMS AND WOULD IT PRESERVE THE SETTING AND SPECIAL INTEREST OF ADJACENT LISTED BUILDINGS AND SAFEGUARD THE CHARACTER AND APPEARANCE OF THIS PART OF THE REDCLIFFE CONSERVATION AREA?

The building is identified as a negative feature within the Redcliffe Character Appraisal and therefore the principle of re-cladding and altering its external treatment is concluded to be acceptable and would not result in the loss of any existing architectural or historic features or character that contribute to the character and appearance of this part of the Redcliffe Conservation Area.

A previous consent for demolition of the existing building and redevelopment of the site was granted at appeal in 2009, and this scheme was for a building of a greater height, with a prominent 'prow' design that addressed the corner of the junction of Victoria Street and St Thomas Street. The design was contemporary with a highly glazed appearance and use of copper cladding materials. Under this scheme, it was proposed to redevelop the site for commercial purposes, including with an active frontage at the ground floor level.

The original proposals under the current application were rendered elevations with the window openings increased in size and altered to a more vertical pattern that is reflective of historic development on Victoria Street. Other materials proposed include metal cladding in the middle section and around the entrance and a glazed panel system to break up the massing of the building. A new entrance is proposed to the St Thomas Street entrance. The proposed design of the development included balconies to a limited degree on Victoria Street, with a greater number to the St Thomas Street elevation and more substantial balconies to the 'prow' corner at the junction of Victoria Street and St Thomas Street.

Following negotiations by officers, the design has been revised to reconsider the window openings within the Victoria Street façade to break up the expanse of this elevation and to seek more appropriate materials of a higher quality finish. Officers were concerned that the proposed light-coloured render system would not be appropriate in this context, where the predominant traditional building materials are brick and stone and would not be suited to this busy highway location where air pollution would be likely to degrade the appearance of the façade very quickly.

The option for re-cladding with brick has been explored given that it is the predominant traditional material in the area, but has been discounted by the applicants on the basis of the structural constraints and concerns regarding the longevity of brick-slip systems. The applicant has instead proposed an alternative stone-effect cladding system based on the use of stone and stone-effect materials for buildings further south along Victoria Street and within Redcliffe, such as the Bristol Civil Justice Centre on Redcliffe Street.

Several indicative samples of the stone cladding materials have been submitted at the request of officers. While officers are not satisfied with these samples specifically, they are content with the overall external appearance of the proposed alterations to the building, the principle of a stone-effect cladding material and that an acceptable external material finish can be agreed via condition.

Supplementary Planning Document 3 'The Future of Redcliffe' states that a landmark building on this site is sought, specifically a 'flat-iron' design as per the previous consent (i.e. that strongly addresses the junction corner at Victoria Street/ St Thomas Street with a 'prow' design). An active ground floor use and spill out space are sought through SPD3 as well as a strong vertical rhythm in design terms, while maintaining important views through the area.

The applicants have considered the 'flat-iron' building approach and enhancing this corner through introducing more prominent balconies, however because the proposal is a conversion project and not

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new-build, there are structural constraints to this. In addition, officers had concerns regarding the proposed larger and bolder balcony design that were subsequently proposed to this corner feature following discussions. It was considered that this would jarr with the neighbouring listed buildings adjacent and obscure views of these buildings from Victoria Street. The much simpler balcony option for this corner is retained.

English Heritage originally raised some concerns regarding the proposed quality of the design of the scheme and the proposed balconies in terms of their relationship to the commercial nature of this area. However, amendments have now been made to the design and materials and while the comment regarding the balconies is noted in terms of the commercial nature of the area, this is not concluded to result in harm to the setting of the listed buildings adjacent.

In summary, the amended proposal is concluded to be an acceptable approach in design terms and to constitute an enhancement to the existing building and the character and appearance of this part of the Redcliffe Conservation Area overall. The proposal is concluded to preserve the setting and special interest of the adjacent listed buildings in accordance with Section 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act) 1990 and the National Planning Policy Framework (NPPF).

Conditions are recommended to secure a final finished appearance of an appropriate standard. A condition relating to the landscaping scheme is also recommended.

(B) ARE THERE ANY HIGHWAYS CONSIDERATIONS?

The highways safety implications of the proposals were considered under the Prior Approval application. This did not involve an assessment of the number of parking spaces associated with the residential use however, since this is an existing situation and therefore poses no overriding highways safety issues.

The original proposals included alterations to the St Thomas Street frontage to create parking spaces accessed directly from the street. However, following concerns raised by the Highways Team, this has been amended to maintain the existing arrangement (with access via the basement parking area).

The submitted plans indicate the proposed parking layout and space for refuse storage and cycle parking, which is deemed to be of an adequate level.

There are no objections on highways grounds.

(C) WOULD THE PROPOSED DEVELOPMENT SAFEGUARD THE RESIDENTIAL AND ENVIRONMENTAL AMENITY OF THE AREA AND FUTURE OCCUPIERS?**Noise considerations**

The application proposes a change to the external treatment of the building including almost total replacement of the fenestration, insulation and cladding materials to the exterior walls as well as the addition of balconies on all facades (excepting Long Row).

Given the substantial changes proposed; this will have significant implications for the internal noise levels experienced within the building as the fabric of the building and glazing are the main barrier to noise from the surrounding environment. The site is within a busy city centre location, along a main road and surrounded by a variety of uses including a late night music venue The Fleece (situated opposite the site) all of which result in a high level of environmental noise in this location. The majority of the objections received to the proposals from third parties have been on the grounds of the implications of the proposals for the operations of The Fleece as a result of noise complaints from future occupiers.

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The applicant has instructed an acoustic consultant to prepare an Environmental Noise Report to assess the noise environment of the site, particularly the noise levels arising from The Fleece's operations. Concerns were raised by both The Fleece's own acoustic consultants and the Council's Pollution Control Team regarding the methodology for the noise assessment.

The applicant therefore agreed to engage with The Fleece and the Council to discuss these concerns and the requirements for a further noise assessment. A further noise assessment was then undertaken and a supplementary 'External Noise Level Assessment Report' submitted.

The Council's Pollution Control (Environmental Health) Team has advised that while the supplementary detail submitted addresses some of the concerns raised regarding the assessment methodology; it lacks detail regarding certain aspects, specifically the noise levels generated by particular individual noise events (e.g. music and customers within the street). In addition, the original Environmental Noise Assessment Report presented a set of recommendations for noise mitigation measures (glazing specifications and mechanical ventilation to all levels). However, this has not been updated based on the further assessment report submitted. Officers therefore advise that further detail should be presented in respect of the detailed noise levels as well as a detailed scheme of noise mitigation to the property to demonstrate that the noise levels could be mitigated to the relevant level. The required level will be Noise Rating Curve NR20 at all times for all habitable rooms. An appropriate condition is therefore recommended to obtain this information prior to the commencement of the development. This will likely require the provision of mechanical ventilation for all flats.

The owners of The Fleece have objected to the proposed balconies, stating that this would lead to noise complaints regarding their operations as there would be no means of reducing noise impacts to the balconies. They have also sought to ensure that windows would be fixed shut and non-opening to prevent complaints from future occupiers. While these concerns are acknowledged, officers consider that the use of balconies and opening of windows will be the decision of residents depending on the noise levels externally and that it is preferable for residents to have the option of use of a balcony and secondary means of ventilation at times when noise levels are lower. The Pollution Control Team has advised that they would be not uphold such complaints provided that an acceptable level can be reached for the internal living environment and that mechanical ventilation is provided so that residents would not be disturbed when noise levels are higher, such as on weekend evenings. However, it is recommended that an advice note be attached to any consent granted to advise future residents that the application has been assessed on this basis and that complaints on this issue would not be upheld.

Air quality

Concerns have been raised by the Air Quality Management Team that the submitted Air Quality Assessment has been carried out using the incorrect modelling figures and that the annual NO₂ objectives would be predicted to be exceeded at the first floor as well as the ground floor levels on Victoria Street. The application details state that mechanical ventilation would only be to the ground floor and not the upper floors. Given that mechanical ventilation would be sought to all floors via conditions relating to a scheme of sound insulation as a result of the noise issues, this would also address air quality concerns.

The Air Quality Team has advised that air quality improves significantly over very short distances away from traffic and that their concerns relate only to the lower levels of the building close to traffic and on Victoria Street where the traffic movements are the greatest. They advised that the air quality standards would likely be exceeded at the ground and first floor levels on Victoria Street. The traffic movements and air pollution levels are not significant on St Thomas Street given that this is less heavily-trafficked. On this basis, a condition is recommended that the windows to the Victoria Street elevation and the West (corner) elevation facing Victoria Street at ground, first and second floor levels only should be fixed shut, with the exception of the balcony doors.

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While the provision of balconies in such a location is not normally recommended for air quality reasons, the balconies would be for only occasional use and would be valuable spaces for other purposes such as storage and clothes drying. To address this issue, officers recommend that an advice note be attached to any consent granted advising future residents of the air quality levels in this location and to advise that they keep the balcony doors in the closed position when not required for access.

In summary, it is concluded that the residential amenity of future residents of the application site can be satisfactorily safeguarded via the use of appropriate planning conditions to mitigate the impacts of noise and air pollution. This would ensure that the operations of adjacent businesses would not be prejudiced by the development.

(D) ARE THERE ANY OTHER MATERIAL CONSIDERATIONS?

Tree issues

Although regrettable, there is no objection to the removal of the existing tree on the site (which is not a Bristol City Council street tree) given that options for retention have proven unfeasible. A replacement tree would be planted within the landscaped area on Victoria Street, which would mitigate the loss of the tree in accordance with the Bristol Tree Replacement Standard. Details will be sought through a landscaping condition.

Sustainability

The submission of a Sustainability Statement is not a requirement of this application given that the application is for external alterations only. While it is noted that mechanical ventilation to the whole building is not sustainable in terms of energy requirements compared with natural ventilation, this is the only way to overcome noise concerns and therefore on balance is considered to be acceptable.

CONCLUSION

In conclusion, there are no objections to the proposed external alterations on design grounds or in terms of the impact on the setting of adjacent listed buildings or the character and appearance of the Redcliffe Conservation Area. It is the view of officers that all other matters can be dealt with via appropriate detailed planning conditions.

Officers recommend that Members approve the application subject to the list of conditions set out below.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) will this development be required to pay?

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

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RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

Pre commencement condition(s)

2. Noise Sensitive Premises Assessment

No development shall take place until a further detailed assessment of the potential for noise from The Fleece music venue, when open for a club night on a Friday or Saturday night, has been submitted to and approved in writing by the Council.

The assessment shall include further details and commentary regarding the noise generated specifically from:

Noise from music from the Fleece
Noise from customers outside the Fleece
Noise from deliveries & collections to the Fleece (to include load out after a gig/concert)

The noise assessment shall be carried out by a suitably qualified acoustic consultant/engineer and shall take into account the provisions of BS 8233: 2014 "Guidance on sound insulation and noise reduction for buildings" and the noise assessments submitted with the application.

The results of the noise assessment shall then be taken into account in the preparation of a details scheme of noise insulation for the residential accommodation, as required by Condition 3 of this consent.

Reason: The development is for significant alterations to the exterior of the building and the glazing, which will affect the internal noise environment of the dwellings. The assessments submitted to date fail to provide sufficient detail in respect of the peaks in noise generated by specific noise events and this information is required in order to ensure that the amenity of future residential occupiers of the development would be safeguarded and to ensure that the development would not prejudice the operations of neighbouring businesses.

3. Noise insulation

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a detailed scheme of noise insulation measures for all residential accommodation within this scheme, which shall also include full details of ventilation to the residential units.

The scheme of noise insulation measures shall take into account the recommendations detailed in the Noise Assessments submitted with the application, the noise assessment submitted in accordance with Condition 2 above and the provisions of BS 8233: 2014 "Guidance on sound insulation and noise reduction for buildings". The recommended design criteria for the dwellings are set out in an advice note attached to this consent.

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The approved details shall be implemented in full prior to the first occupation of the building and shall be permanently maintained thereafter. The works shall be regularly checked by a competent acoustic consultant throughout the construction of the development. Prior to the first occupation of the residential accommodation, at least 21 days' notice in writing shall be given to the Local Planning Authority of the completion of the noise insulation measures and the works shall be inspected by an authorised officer of Bristol City Council's Pollution Control Team and approved in writing prior to the first occupation of the residential accommodation.

Reason: The development is for significant alterations to the exterior of the building and the glazing, which will affect the internal noise environment of the dwellings. Noise insulation will be required in order to safeguard the amenity of future residential occupiers of the development and to ensure that the development would not prejudice the operations of neighbouring businesses.

4. Further details before development starts

No development shall take place until detailed drawings of the following elements have been submitted to and approved in writing by the Local Planning Authority. The detail thereby approved shall be carried out in accordance with that approval unless otherwise agreed in writing by the Local Planning Authority:

- a) Typical details of all material junctions (including spandrel panels, fascias, soffits, eaves and corner details);
- b) Typical details of each new window and door type (including panelling around windows and to include sections of each window/ door to indicate cills, lintels and reveals as appropriate);
- c) Detail of balconies (including soffits, balustrades and supporting structures);
- d) Detail of new entrance arrangements;
- e) Sub-station;
- f) All new boundary walls/ planters;

Reason: In the interests of visual amenity and the character of the area.

5. Sample panels before specified elements started

Sample panels of the following elements; demonstrating the colour, texture, face bond and pointing are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved details before the building is occupied.

- a) Stone-effect cladding materials;
- b) All new/ replacement brick;
- c) Metal panelling;
- d) Glazed spandrel panels;
- e) All new hardstanding materials;
- f) Balcony balustrade materials.

Reason: In order that the external appearance of the building is satisfactory.

Pre occupation condition(s)

6. Submission and approval of landscaping scheme

Prior to the occupation of the development hereby permitted, full details of a scheme of hard and soft landscaping for the site (including the new tree to Victoria Street and the technical specifications for its planting such as a tree pit, as appropriate) shall be submitted to and

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approved in writing by the Local Planning Authority. The approved scheme shall be implemented so that planting can be carried out during the first planting season following the occupation of the building(s) or the completion of the development whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being damaged or becoming diseased within that period shall be replaced in the next planting season with others of similar size and species to those originally required to be planted unless the council gives written consent to any variation.

Reason: To protect and enhance the character of the site and the area and to ensure its appearance is satisfactory and to provide tree planting in mitigation for the tree to be removed from the site.

Post occupation management

7. Non-opening and fixed shut windows

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and/or re-enacting that Order) all windows within the Victoria Street elevation of the building (including the corner bay window feature at the junction of Victoria Street and Long Row) and the West elevation of the development (to Victoria Street) shall be fixed shut and non-opening and shall be permanently maintained thereafter as fixed shut and non-opening at all times thereafter.

Reason: To safeguard the amenities of the adjoining premises from overlooking and loss of privacy.

List of approved plans

8. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

3224-1000-B Location plan, received 3 April 2014
 3224-1500-C Existing ground floor plan, received 3 April 2014
 3224-1501-C Existing first floor plan, received 3 April 2014
 3224-1502-C Existing second floor plan, received 3 April 2014
 3224-1503-C Existing third floor plan, received 3 April 2014
 3224-1504-C Existing fourth floor plan, received 3 April 2014
 3224-1505-C Existing fifth floor plan, received 3 April 2014
 3224-1506-C Existing basement floor plan, received 3 April 2014
 3224-1507-A Existing elevations, received 3 April 2014
 3224-2008-H Proposed roof plan, received 30 June 2014
 3224-2009-E Proposed external works, received 27 June 2017
 3224-3000-F Proposed elevations 1, received 27 June 2014
 3224-3001-F Proposed elevations 2, received 27 June 2014

Reason: For the avoidance of doubt.

Development Control Committee A – 30 July 2014
Application No. 14/01424/F: 33 - 49 Victoria Street Bristol BS1 6AD

Advices

1. Noise complaints- balconies and open windows

The application has been assessed taking into account the noise from the late night music venue The Fleece situated opposite the site, as well as road traffic noise. Conditions are attached to this consent requiring a scheme of noise mitigation to ensure an acceptable living environment for future residents.

However, it is not possible to mitigate the noise experienced from use of the proposed balconies or when residents choose to have their windows open as a secondary means of ventilation (in addition to mechanical ventilation). Officers consider however that it is preferable that residents have the option of balconies and opening windows for use in quieter periods provided that an acceptable living environment is achieved internally when the windows are closed through satisfactory noise insulation (building fabric and glazing) and mechanical ventilation. In addition, given that The Fleece has been in operation for some time, any noise complaints received from future residents of the site regarding noise impacts from The Fleece or other neighbouring uses on the balconies or habitable rooms (when windows are in an open position) of the development will not be upheld.

2. Air quality

The air pollution levels in this location at the ground, first and to a lesser extent the second floor, are at a level that exceeds the relevant national standards. A condition has been attached to this consent that all windows at these levels on the Victoria Street elevation be fixed shut at all times to prevent residents being exposed to this air pollution. Mechanical ventilation would be required to these properties and would be dealt with through the conditions relating to noise insulation, which will also require mechanical ventilation. However, some of these flats also have balconies with opening doors and future residents of the site are therefore advised to keep balcony doors shut at all times when not required for access.

3. Sound insulation/acoustic reports

The recommended design criteria for dwellings are as follows:

- * Daytime (07.00 - 23.00) 35 dB LAeq 16 hours in all rooms & 50 dB in outdoor living areas.
- * Nighttime (23.00 - 07.00) 30 dB LAeq 8 hours & L_{max} less than 45 dB in bedrooms.

Where residential properties are likely to be affected by amplified music from neighbouring pubs or clubs, the recommended design criteria is as follows:

- * Noise Rating Curve NR20 at all times in any habitable rooms.

4. Noise - plant & equipment

Anti-vibration mounts should be used to isolate plant from fixed structures and a flexible connector used to connect the flue to the fan if there is a potential to transmit vibration to any noise sensitive property. Any systems will also need regular maintenance so as to reduce mechanical noise.

5. BS Standard - tree work: Any works should be completed in accordance with British Standard 3998: Recommendations for tree work, you are advised that the work should be undertaken by a competent and suitably qualified tree contractor.

Development Control Committee A – 30 July 2014**Application No. 14/01424/F: 33 - 49 Victoria Street Bristol BS1 6AD**

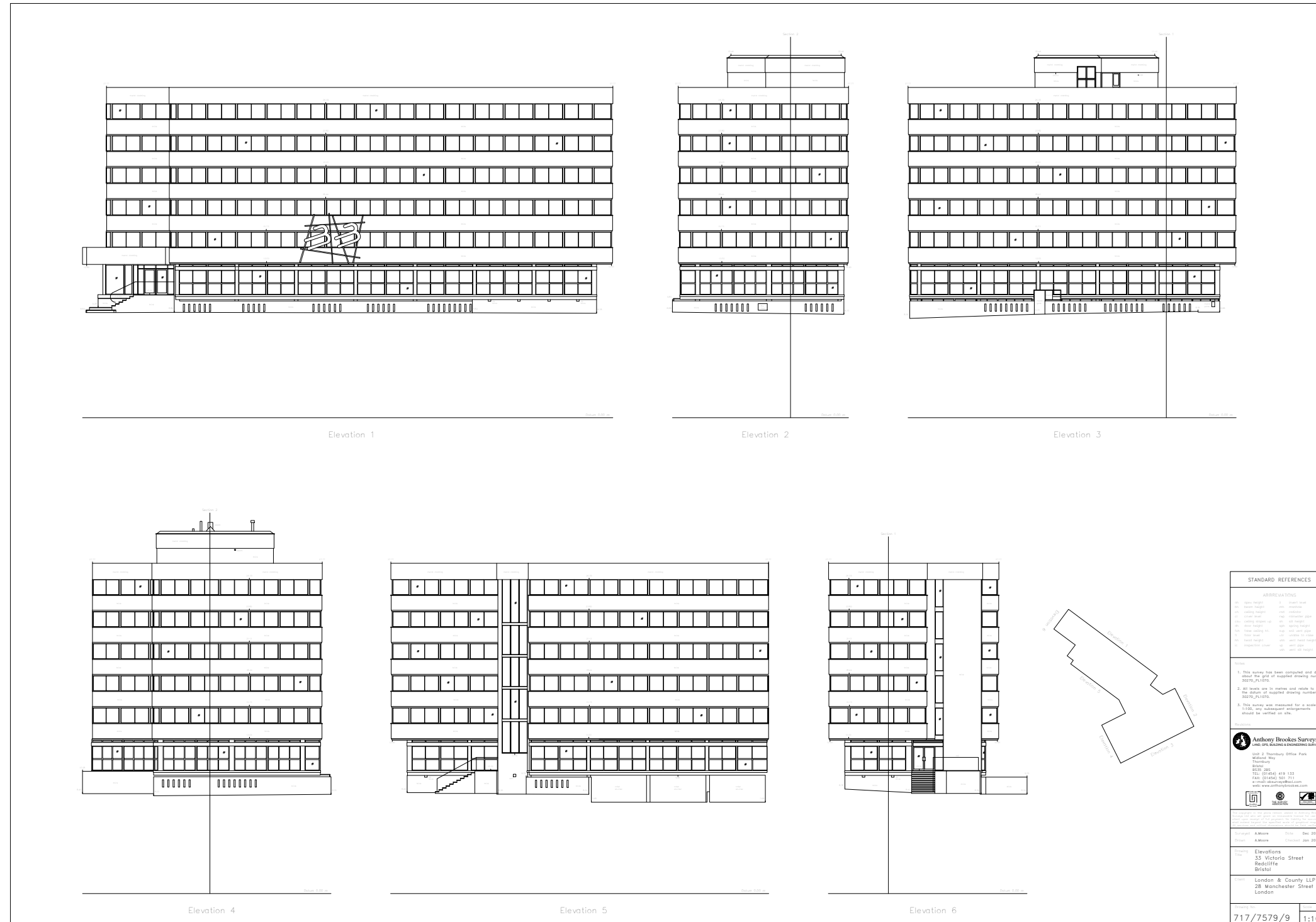
6. Nesting birds: Anyone who takes, damages or destroys the nest of any wild bird whilst that nest is in use or being built is guilty of an offence under the Wildlife and Countryside Act 1981 and prior to commencing work you should ensure that no nesting birds will be affected.
7. Bats and bat roosts: Anyone who kills, injures or disturbs bats, obstructs access to bat roosts or damages or disturbs bat roosts, even when unoccupied by bats, is guilty of an offence under the Wildlife and Countryside Act 1981, the Countryside and Rights of Way Act 2000 and the Conservation (Natural Habitats, &c.) Regulations Act. Prior to commencing work you should ensure that no bats or bat roosts would be affected. If it is suspected that a bat or bat roost is likely to be affected by the proposed works, you should consult English Nature (Taunton office 01823 283211).

BACKGROUND PAPERS

Urban Design	2 May 2014
English Heritage	6 June 2014
Pollution Control Team	8 July 2014
Arboriculture Team	20 May 2014
Air Quality Management Team	19 May 2014
Transport Development Management Team	21 May 2014

Notes
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Rev	Date	Init	Notes	Chkd
A	19/02/2	CP	Planning submission	PB
	014			



STANDARD REFERENCES	
ABBREVIATIONS	
1. 100mm	1. 100mm
2. 100mm	2. 100mm
3. 100mm	3. 100mm
4. 100mm	4. 100mm
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Project Title
**33 Victoria Street
 Residential Refurbishment**

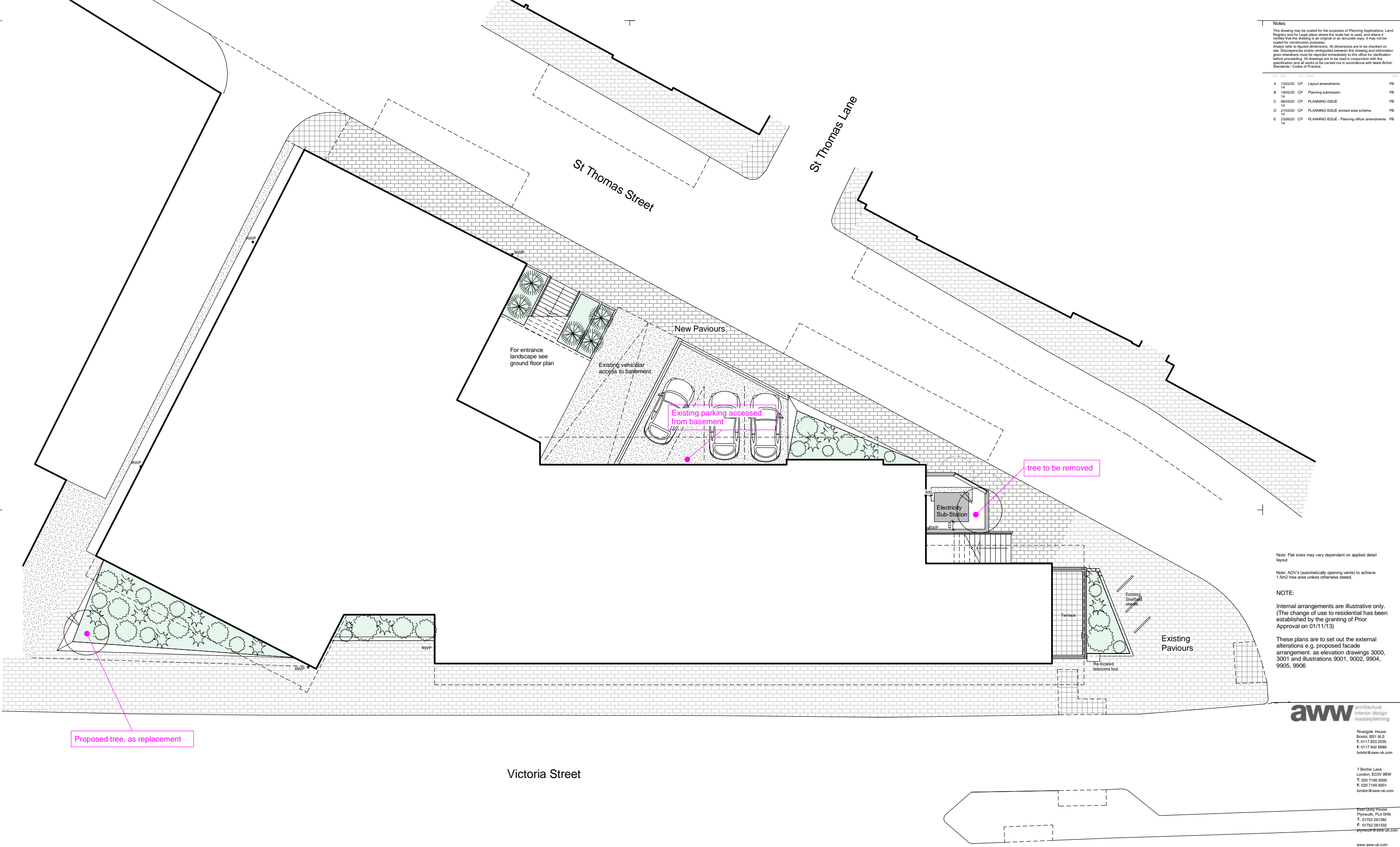
Drawing Title
Existing Elevations

Scale	Sheet Size	Drawn
1 : 400	A3	CP
Date	Checked	
02/14/14	PB	

Status		
Preliminary		
Project No.	Drawing No.	Revision
3224	1507	A

Notes
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Rev	Date	Description	By	App'd
A	13/02/20	CP - Layout amendments	PB	
B	19/02/20	CP - Planning submission	PB	
C	06/03/20	CP - PLANNING ISSUE	PB	
D	21/03/20	CP - PLANNING ISSUE revised area scheme	PB	
E	23/06/20	CP - PLANNING ISSUE - Planning officer amendments	PB	



Note: Flat sizes may vary dependent on applied detail layout

Note: AOV's (automatically opening vents) to achieve 1.5m2 free area unless otherwise stated.

NOTE:
 Internal arrangements are illustrative only. (The change of use to residential has been established by the granting of Prior Approval on 01/11/13)

These plans are to set out the external alterations e.g. proposed facade arrangement, as elevation drawings 3000, 3001 and illustrations 9001, 9002, 9904, 9905, 9906

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Proposed tree, as replacement

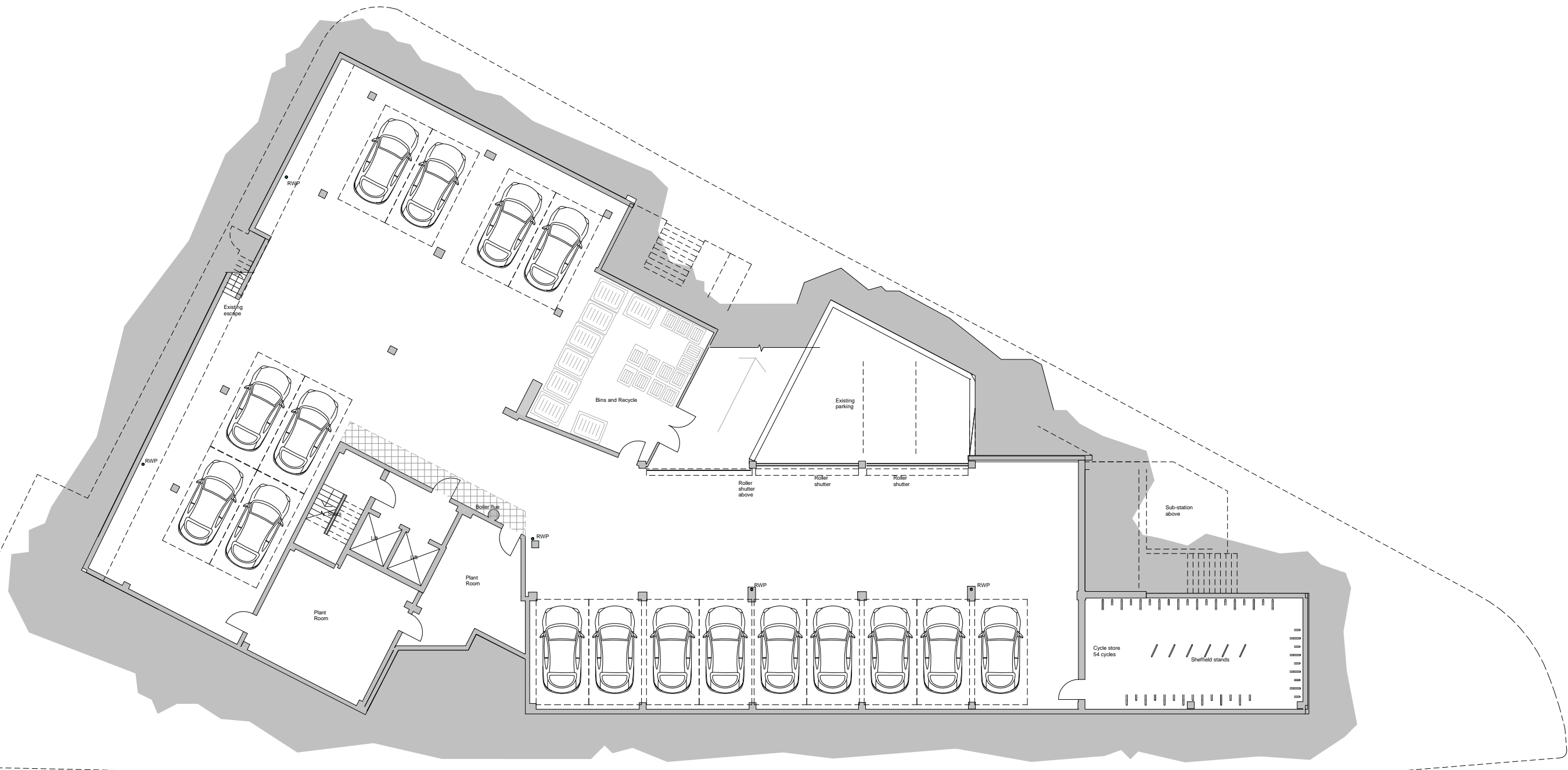
tree to be removed

Existing parking accessed from basement

Project Title		
33 Victoria Street Residential Refurbishment		
Drawing Title		
Proposed External works		
Scale	Sheet Size	Drawn
1 : 100	A1	Author
Date	Checked	
01/07/14	Checker	
Status		
PLANNING		
Project No.	Drawing No.	Revision
3224	2009	E

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A	13/02/20	CP	basement layout amendments	PB
B	19/02/20	CP	Planning submission	PB
C	06/03/20	CP	PLANNING ISSUE	PB
D	23/06/20	CP	PLANNING ISSUE - Planning officer amendments	PB



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Project Title
**33 Victoria Street
 Residential Refurbishment**

Drawing Title
Proposed Basement Floor Plan

Scale	Sheet Size	Drawn
1 : 100	A1	Author
Date		Checked
12/16/13		Checker

Status
PLANNING

Project No.	Drawing No.	Revision
3224	2000	D

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Rev	Date	Description	By
A	13/02/20	CP balcony revisions and window areas amended	PB
B	19/02/20	CP Planning submission	PB
C	06/03/20	CP PLANNING ISSUE	PB
D	21/03/20	CP PLANNING ISSUE revised area scheme	PB
E	23/06/20	CP PLANNING ISSUE - Planning officer amendments	PB
F	25/06/20	CP PLANNING ISSUE - Planning officer amends balcony revert	PB



NORTH ELEVATION - TO VICTORIA STREET



EAST ELEVATION - TO St THOMAS ST E

- MATERIALS KEY**
- (1) Engineering brick base (Re-use of existing bricks and/or match with similar)
 - (2) Stone effect cladding system (natural) colour TBA
 - (3) Stone effect cladding system (buff) colour TBA
 - (4) Metal panel cladding system (dark grey)
 - (5) Spandrel panel - Opaque coloured glass (various shades of green)
 - (6) Powder coated dark grey aluminium framed window system
 - (7) U profile glazing system laid horizontally.
 - (8) Balconies with grey metal edging and glazed balustrades
 - (9) Planter with steel cable trellis.
 - (10) Perforated metal or metal mesh used as privacy screen and car park ventilation panel.
 - (11) Metal and Glass entrance canopy
 - (12) Spandrel panel - Opaque coloured glass (dark grey)
 - (13) Buff coloured render system
 - (14) Dark grey metal coping

Note: Flat sizes may vary dependent on applied detail layout
 Note: AOV's (automatically opening vents) to achieve 1.5m2 free area unless otherwise stated.

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Project Title
**33 Victoria Street
 Residential Refurbishment**

Drawing Title
Proposed Elevations 1

Scale	Sheet Size	Drawn
As indicated	A1	CP
05/12/13		Checked
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Status
PLANNING

Project No.	Drawing No.	Revision
3224	3000	F

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Rev	Date	Description	By
A	13/02/20	CP balcony revisions and window areas amended	PB
B	19/02/20	CP Planning submission	PB
C	06/03/20	CP PLANNING ISSUE	PB
D	21/03/20	CP PLANNING ISSUE revised area scheme	PB
E	23/06/20	CP PLANNING ISSUE - Planning officer amendments	PB
F	25/06/20	CP PLANNING ISSUE - Planning officer amends balcony revert	PB

- 06_Sixth 17850
- 05_Fifth 15150
- 04_Fourth 12450
- 03_Third 9750
- 02_Second 7050
- 01_First 4350
- 00_Ground 1500
- Street Level 0
- 01_Basement -1300



SOUTH ELEVATION - To St THOMAS ST

- 06_Sixth 17850
- 05_Fifth 15150
- 04_Fourth 12450
- 03_Third 9750
- 02_Second 7050
- 01_First 4350
- 00_Ground 1500
- Street Level 0
- 01_Basement -1300

Planters, climbing plants and steel cable trellis form an attractive living green screen



WEST ELEVATION - TO VICTORIA ST



MATERIALS KEY

- (1) Engineering brick base (Re-use of existing bricks and/or match with similar.)
- (2) Stone effect cladding system (natural) colour TBA
- (3) Stone effect cladding system (buff) colour TBA
- (4) Metal panel cladding system (dark grey)
- (5) Spandrel panel - Opaque coloured glass (various shades of green)
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- (8) Balconies with grey metal edging and glazed balustrades
- (9) Planter with steel cable trellis.
- (10) Perforated metal or metal mesh used as privacy screen and car park ventilation panel.
- (11) Metal and Glass entrance canopy
- (12) Spandrel panel - Opaque coloured glass (dark grey)
- (13) Buff coloured render system
- (14) Dark grey metal coping

Note: Flat sizes may vary dependant on applied detail layout
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Project Title
33 Victoria Street Residential Refurbishment

Drawing Title
Proposed Elevations 2

Scale Sheet Size Drawn
 As A1 Author

Indicated 12/05/13 Checked
 Status PLANNING

Project No.	Drawing No.	Revision
3224	3001	F